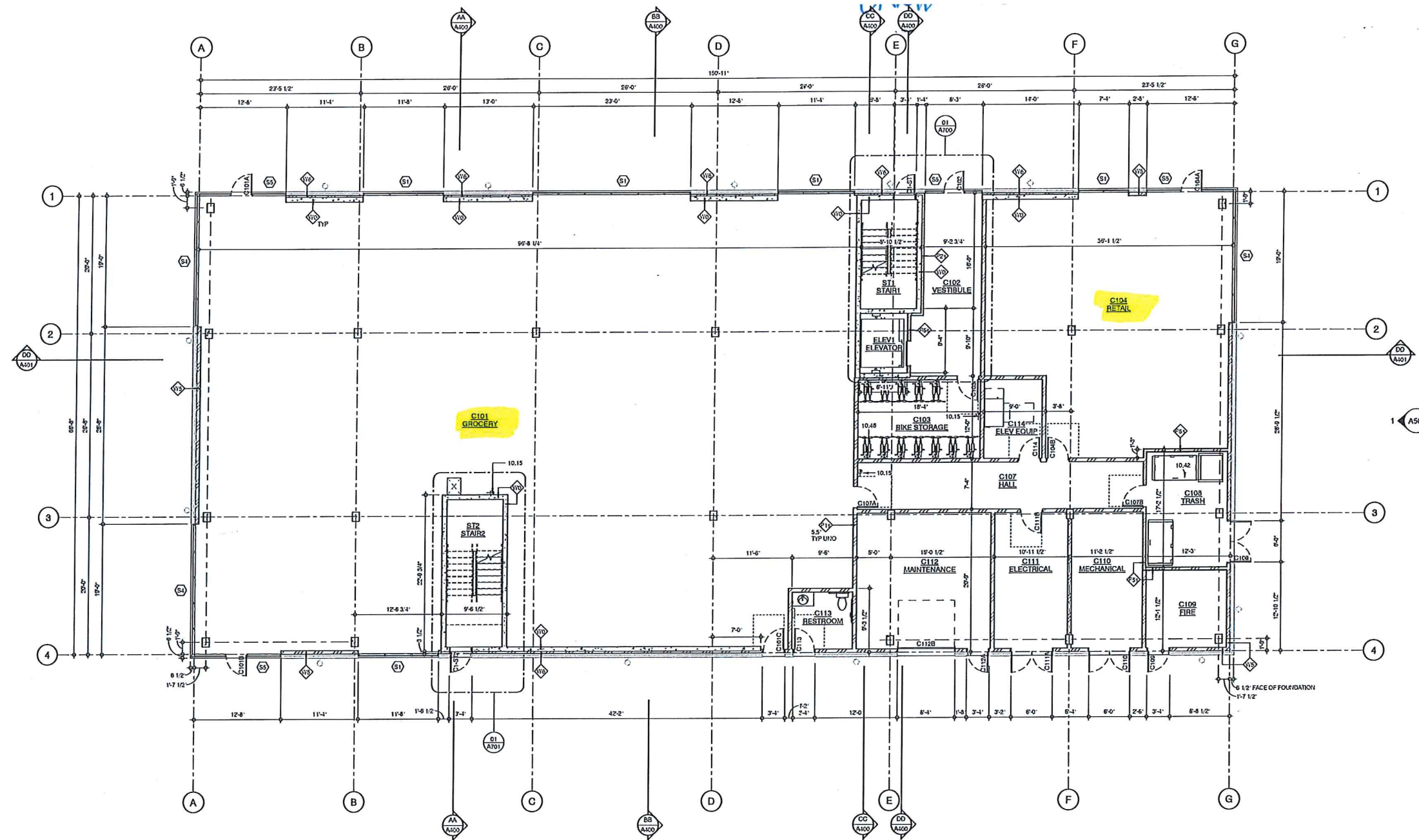


Attachment 5

39th Avenue SE to the East



C1 FLOOR PLAN
SCALE: 1/8" = 1'-0"

Wetland to the West

FLOOR PLAN LEGEND

	PARTITION FURRING		ASSEMBLY TYPE
	FINISH OF WALL		2x-10/2x FIRE (WALL HURLING)
	12' CLEAR		2x-10/2x FIRE (CABINET)
	18' CLEAR		INTERIOR ELEVATION
	DOOR SYMBOL		1-HOUR RATED PARTITION
	WINDOW SYMBOL		2-HOUR RATED PARTITION

- FLOOR PLAN NOTES**
- ALL EXTERIOR DIMENSIONS ARE TAKEN FROM FACE OF CONCRETE FOUNDATION WALL / FACE OF SHEATHING.
 - UNLESS NOTED OTHERWISE ALL INTERIOR DIMENSIONS ARE TAKEN FROM FACE OF STUD OR STRUCTURAL ELEMENT.
 - DIMENSIONS INDICATING 'CLEAR' OR F.O.W. ARE TAKEN FROM FINISH.
 - REFERENCE STRUCTURAL FOUNDATION PLAN FOR ALL SLAB CONTROL JOINTS TYP.
 - REFERENCE R1 FOR TYP R LEVEL DIMENSIONS AND TAGS.
 - REFERENCE G SHEETS FOR TYPICAL PUBLIC BATHROOM ELEVATIONS AND CLEARANCES.

KEYNOTES

- 10.15 FIRE EXTINGUISHER
- 10.42 TRASH COMPACTOR
- 10.43 WALL MOUNTED EISE RACK, TYP

REVISIONS

#	DESCRIPTION	DATE

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architect
w. 511 24th Ave
spokane, wa 99203

PROJ. #	1801
DRAWN:	LAB
CHECKED:	CO
DATE:	05.03.2019

THE FARM at MILL CREEK

132nd STREET SE (EGUV) - MILL CREEK, WASHINGTON

MAIN LEVEL FLOOR PLAN - BUILDING D
A.101

FLOOR PLAN LEGEND

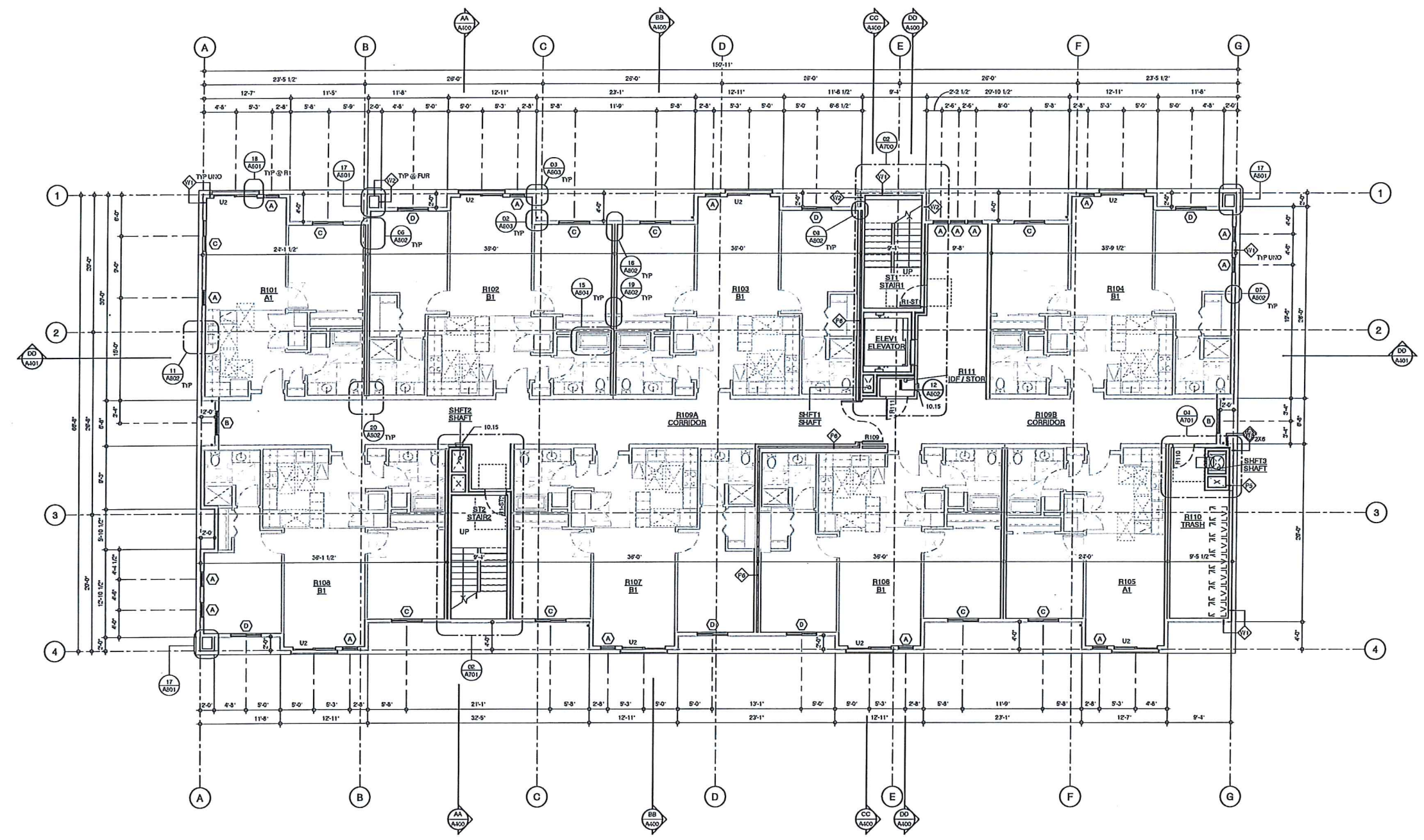
---	PARTITION FURF/WG	⬡	ASSEMBLY TYPE
---	F.O.W. FINISH OF WALL	⊕	2A-105C FIRE (WALL HURD)
---	12' CLEAR	---	2A-105C FIRE (CABINET)
---	18' CLEAR	⬡	INTERIOR ELEVATION
⊕	DOOR SW/BOUL	⬡	INTERIOR ELEVATION
⊕	WINDOW SW/BOUL	⬡	
---	1-HOUR RATED PARTITION	---	
---	2'	---	

FLOOR PLAN NOTES

- ALL EXTERIOR DIMENSIONS ARE TAKEN FROM FACE OF CONCR. FOUNDATION WALL / FACE OF SHEATHING.
- UNLESS NOTED OTHERWISE ALL INTERIOR DIMENSIONS ARE TAKEN FROM FACE OF STUD OR STRUCTURAL ELEMENT.
- DIMENSIONS INDICATING 'CLEAR' OR F.O.W. ARE TAKEN FROM FINISH.
- REFERENCE STRUCTURAL FOUNDATION PLAN FOR ALL SLAB CONTROL JOINTS TYP.
- REFERENCE R1 FOR TYP. LEVEL DIMENSIONS AND TAGS.
- REFERENCE G SHEETS FOR TYPICAL PUBLIC BATHROOM ELEVATIONS AND CLEARANCES.

KEYNOTES

- 10.15 FIRE EXTINGUISHER



R1 FLOOR PLAN
SCALE: 1/8" = 1'-0"

REVISIONS		PROJ. #	1801
		DRAWN:	LAB
		CHECKED:	CO
		DATE:	06.03.2019
		TYPICAL RESIDENTIAL LEVEL - BUILDING D	
		A.102	
#	DESCRIPTION	DATE	132nd STREET SE (EGUY) - MILL CREEK, WASHINGTON

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architect
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spokane, wa 99203

THE FARM at MILL CREEK

Staff suggested Condition of Approval to paint or screen unit

FLOOR PLAN LEGEND

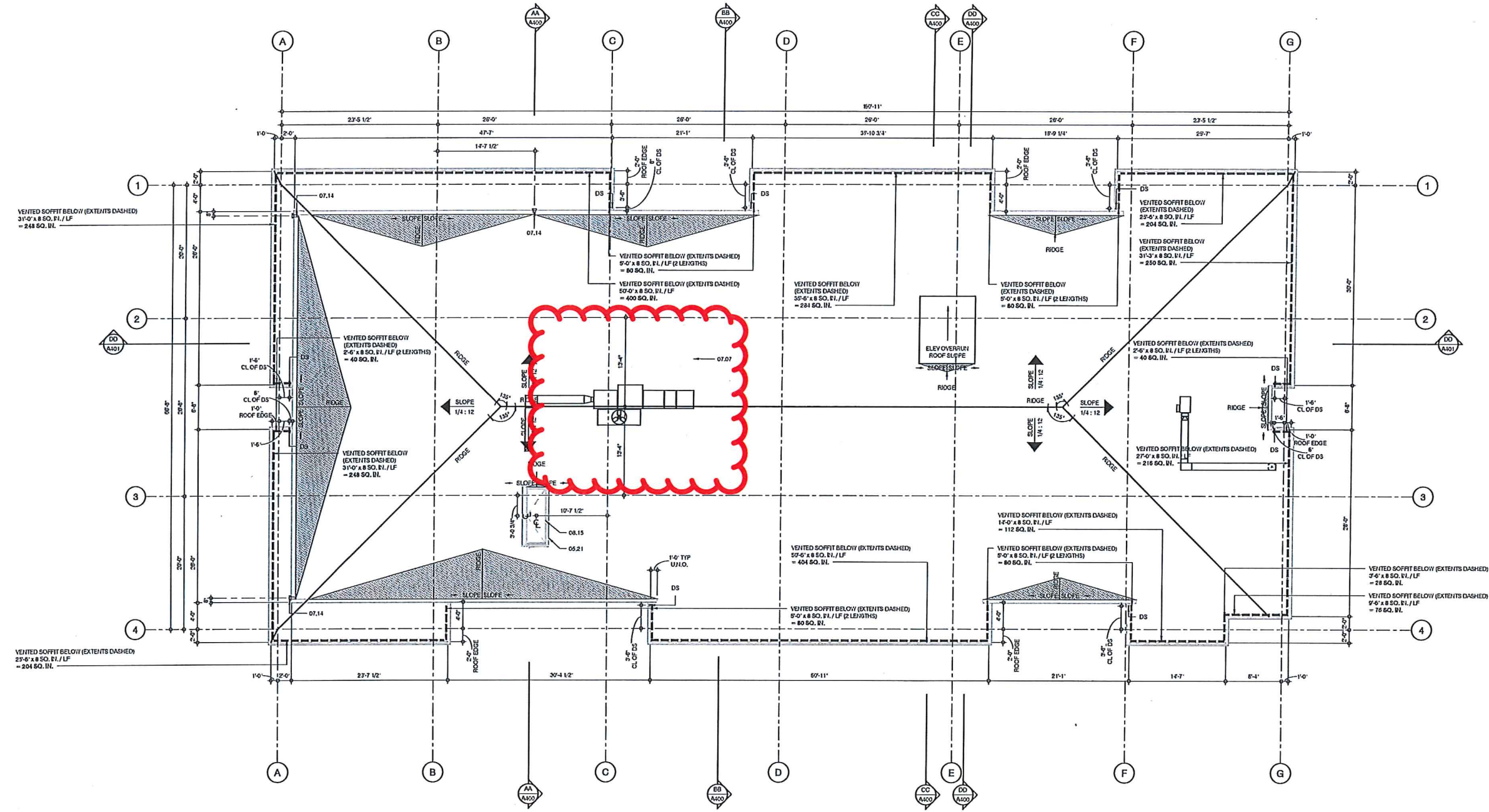
	PARTITION FINISHING		ASSEMBLY TYPE
	F.O.V.		2A-1000 FIRE (WALL FINISH)
	12" CLEAR		2A-1000 FIRE (CABINET)
	18" CLEAR		INTERIOR ELEVATION
	DOOR SYMBOL		
	WINDOW SYMBOL		
	1-HOUR RATED PARTITION		
	2-HOUR RATED PARTITION		

ROOF PLAN NOTES

- A. ALL EXTERIOR DIMENSIONS ARE TO THE FACE OF STUD, FROM STEM WALL. EXTERIOR WALL FINISH TO BE ADJUSTED VERTICALLY FROM FLOOR TO FLOOR UNLESS OTHERWISE NOTED. VERIFY ALL EXTERIOR FLOOR PLAN DIMENSIONS WITH FOUNDATION PLAN.
 - B. UNLESS NOTED OTHERWISE, ALL INTERIOR DIMENSIONS ARE TAKEN FROM FACE OF STUD, FACE OF STRUCTURAL ELEVATION, OR CENTERLINE OF STRUCTURAL ELEVATION.
 - C. DIMENSIONS INDICATING "CLEAR" OR F.O.V. ARE TAKEN FROM FINISH.
 - D. GYPSUM BOARD MATERIALS SHALL CONFORM TO THE APPROPRIATE STANDARDS LISTED IN 2012 IBC TABLE 2505.2 AND 2012 IBC CHAPTER 25. GYPSUM BOARD MATERIALS SHALL BE ASSEMBLED AND INSTALLED IN COMPLIANCE WITH THE APPROPRIATE STANDARDS LISTED IN 2012 IBC TABLES 2503.1 AND 2009 IBC CHAPTER 25.
 - E. FOR EXTENTS OF FIRE RATED CONSTRUCTION, SEE BUILDING CODE SUMMARY AND CODE PLANS, SHEETS A0.30-A0.34.
 - F. SEE SHEET A0.4.1 FOR ROOF ASSEMBLY.
 - G. PROVIDE MANUFACTURER'S WALK PADS FROM ROOF HATCH TO ALL ROOF TOP EQUIPMENT.
 - H. ALL ROOF CRACKS TO BE SLOPED AT A MINIMUM OF 1/4" : 12" IN THE DIRECTION SHOWN ON PLANS.
 - I. UNVENTED ATTICS AND UNVENTED ENCLOSED ROOF FRAMING ASSEMBLIES CREATED BY CEILING APPLIED DIRECTLY TO THE UNDERSIDE OF THE ROOF FRAMING MEMBERS AND THE STRUCTURAL ROOF SHEATHING AT THE TOP OF THE ROOF FRAMING MEMBERS SHALL BE PERMITTED WHERE THE CONDITIONS OF IBC 1003.3 ARE MET.
- LOW VENTING (UNVENTED ATTIC SPACE OUTSIDE OF BUILDING ENVELOPE)
 LOW VENTING ACHIEVED THROUGH VENTED SOFFITS
 VENTED SOFFITS = 3074 SQ. IN.
 BASIS OF DESIGN, CONTINUOUS 2" WIDE SOFFIT VENT PROVIDING 8 SQ. IN. OF VENTING PER LINEAR FOOT
 SEE ROOF PLAN FOR SOFFIT LOCATIONS AND AREA ATTRIBUTED TO EACH SOFFIT
- TOTAL VENTING = 3,074 SQ. IN.

KEYNOTES

- 65.21 PRE-MANUFACTURED OSHA COMPLIANT SCHEDULE 40 PIPE GUARDRAIL AT ROOF HATCH OPENING, MINIMUM 42" ABOVE HIGHEST ADJACENT ROOF SURFACE. CONSTRUCT GUARD TO PREVENT PASSAGE OF A SPHERE 21" IN DIAMETER PER IBC 1013.1. PROVIDE SPRING LOADED SWISS GATE. PROVIDE GUARDRAIL COMPATIBLE WITH APPROVED ROOF HATCH.
- 07.07 60 MIL. T.P.O. SINGLE PLY ROOF MEMBRANE
- 07.14 PREPARED ROOF SCUPPER. COLOR TO MATCH ADJACENT SIDING. DOWNSPUT FROM SCUPPER DOWN TO GRADE. THE VITO SITE DRAINAGE SYSTEM AS REQUIRED, SEE CIVIL DRAWINGS FOR SITE DRAINAGE SYSTEM
- 68.15 30" X 60" STEEL ROOF HATCH. BASIS OF DESIGN: EACO TYPE L-20. INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND REQUIRED CLEARANCES. COORDINATE REQUIRED CLEARANCES WITH ROOF FRAMING FROM TO COMPLEMENTARY WORK.



ROOF PLAN
SCALE: 1/8" = 1'-0"

#	DESCRIPTION	DATE

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PROJ. #	1601
DRAWN:	LAB
CHECKED:	CO
DATE:	06.03.2019

THE FARM at MILL CREEK

132nd STREET SE (EGUY) - MILL CREEK, WASHINGTON

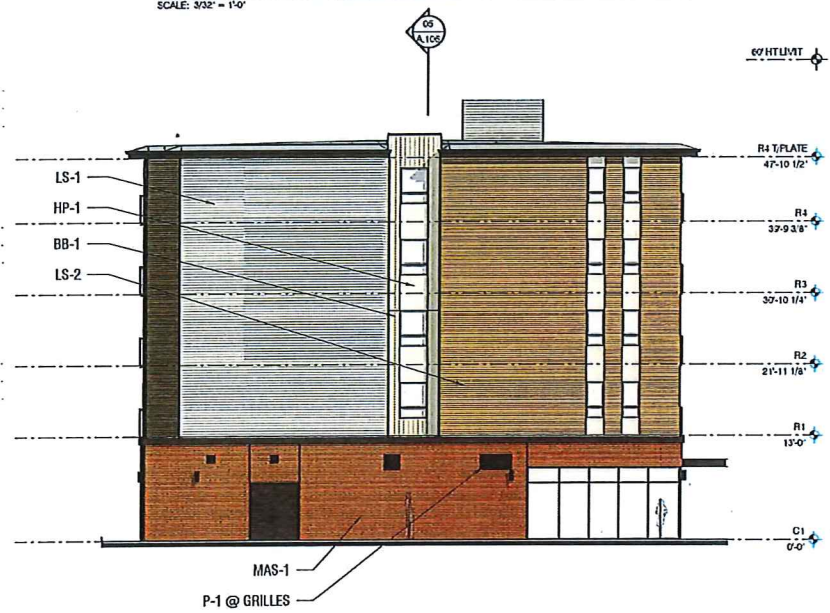
ROOF PLAN - BUILDING D
A.103



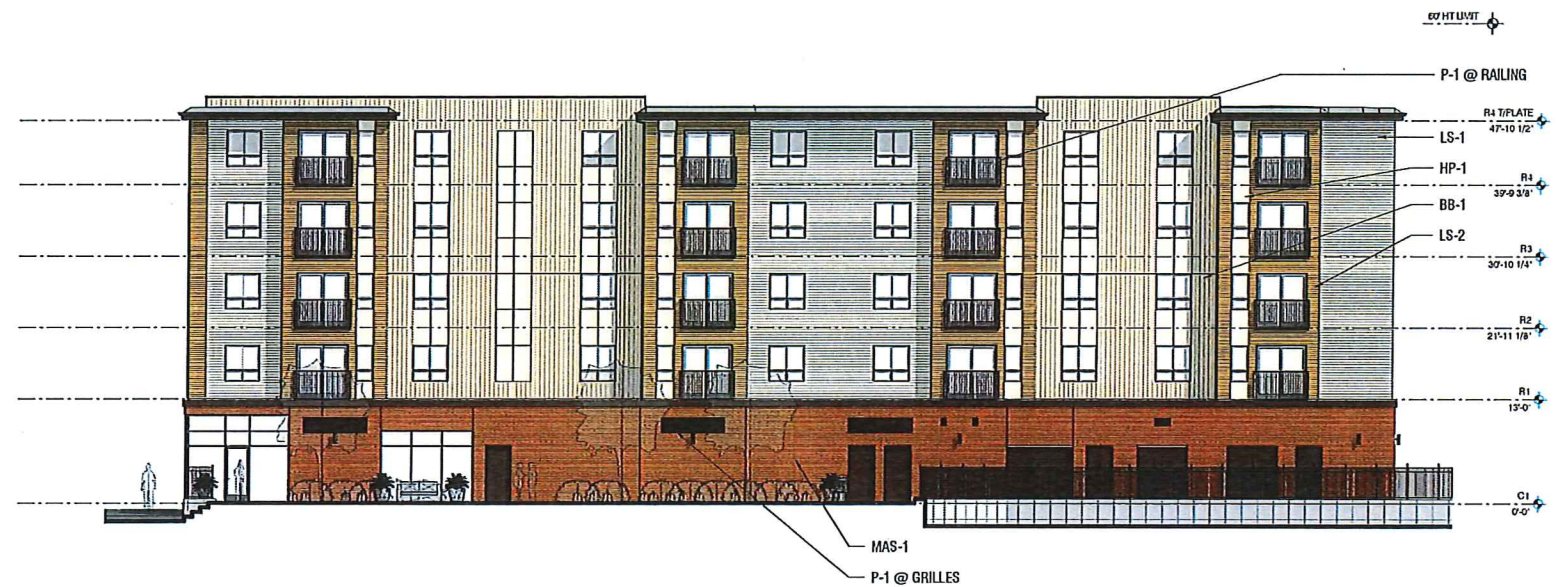
BLDG. D NORTH ELEVATION
SCALE: 3/32" = 1'-0"



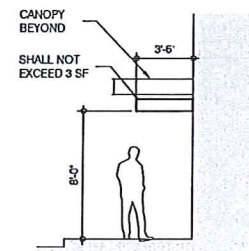
BLDG. D EAST ELEVATION
SCALE: 3/32" = 1'-0"



BLDG. D SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



BLDG. D WEST ELEVATION
SCALE: 3/32" = 1'-0"



BLADE SIGN

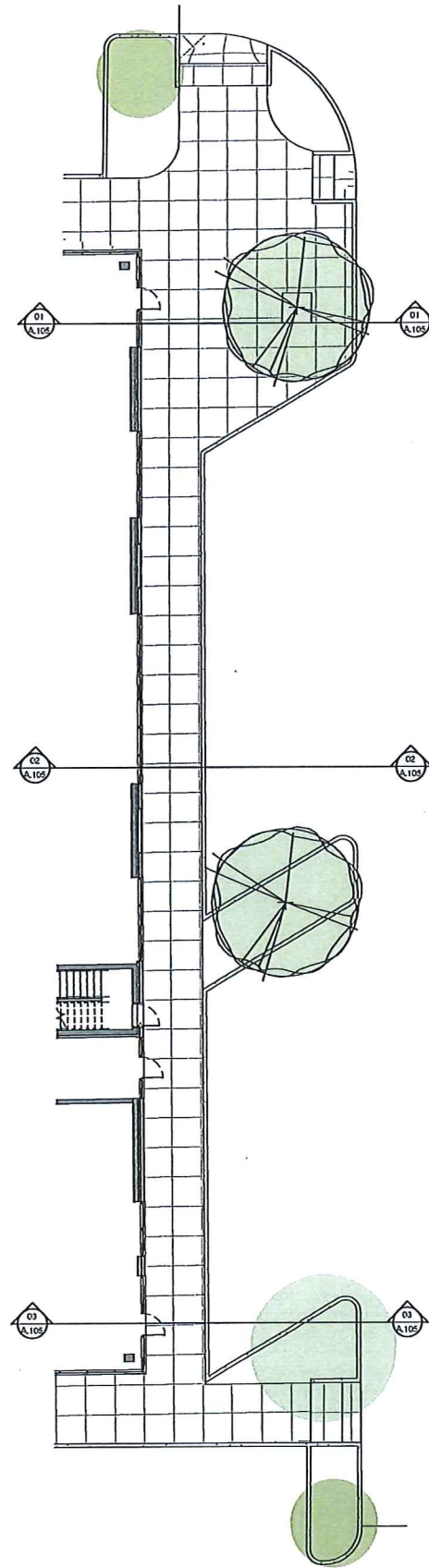
#	DESCRIPTION	DATE

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PROJ. #	1801
DRAWN:	LAB
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THE FARM at MILL CREEK
132nd STREET SE (EGUV) - MILL CREEK, WASHINGTON

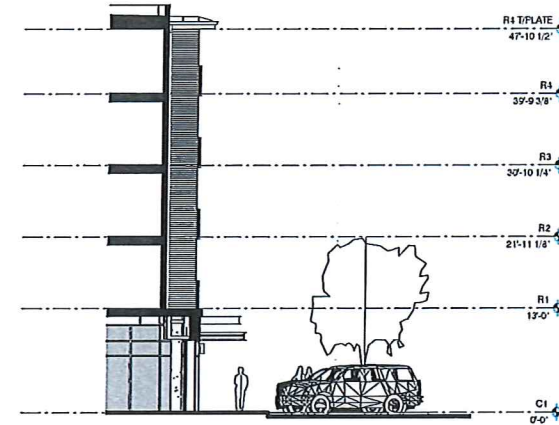
BUILDING D ELEVATIONS
A.104



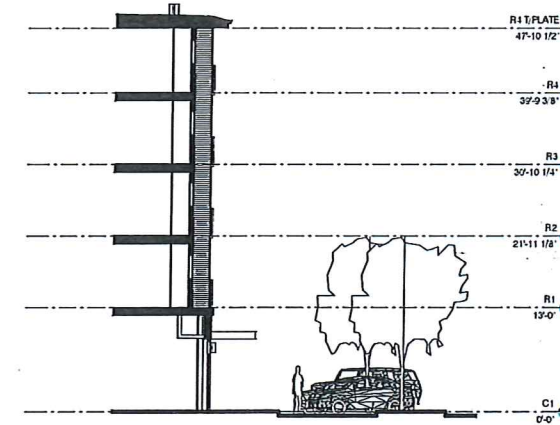
SITE PLAN
SCALE: 3/32" = 1'-0"



01 WALL SECTION
SCALE: 3/32" = 1'-0"



02 WALL SECTION
SCALE: 3/32" = 1'-0"



03 WALL SECTION
SCALE: 3/32" = 1'-0"



BLDG. D EAST ELEVATION
SCALE: 3/32" = 1'-0"

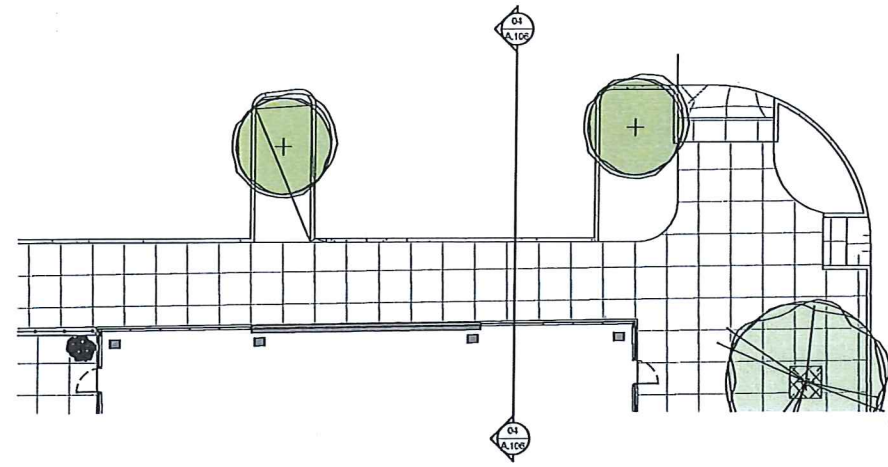
#	DESCRIPTION	DATE

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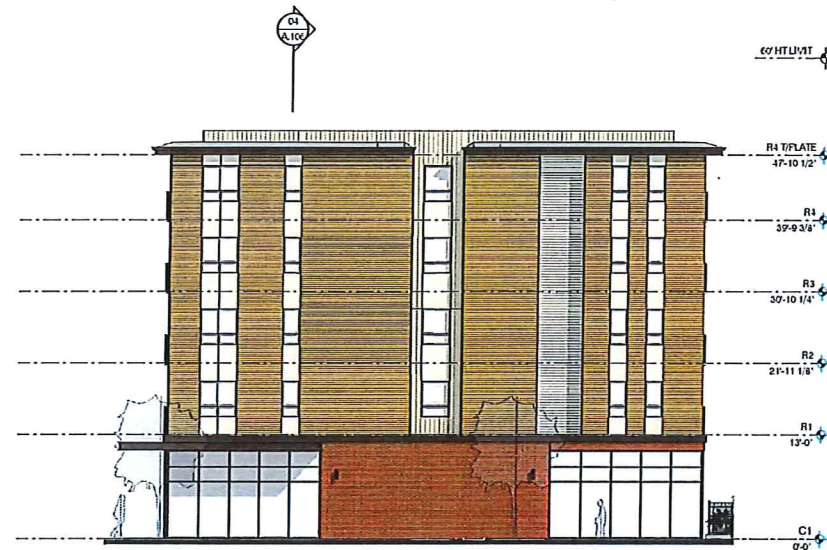
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CHECKED: CO
DATE: 05.03.2019

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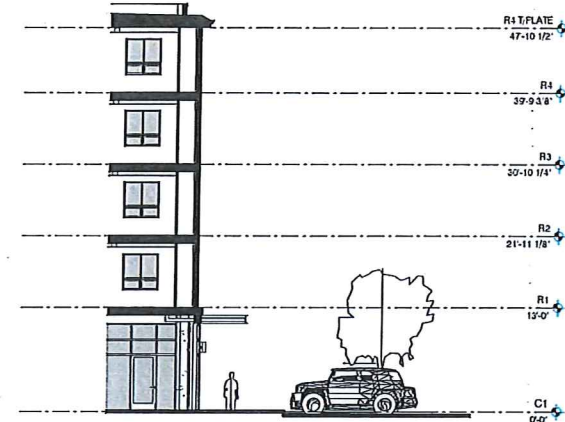
BUILDING D SECTIONS
A.105



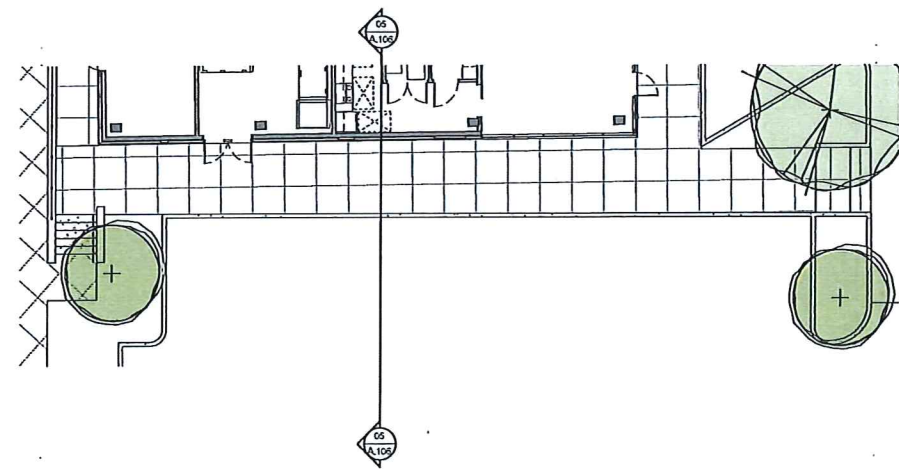
SITE PLAN
SCALE: 3/32" = 1'-0"



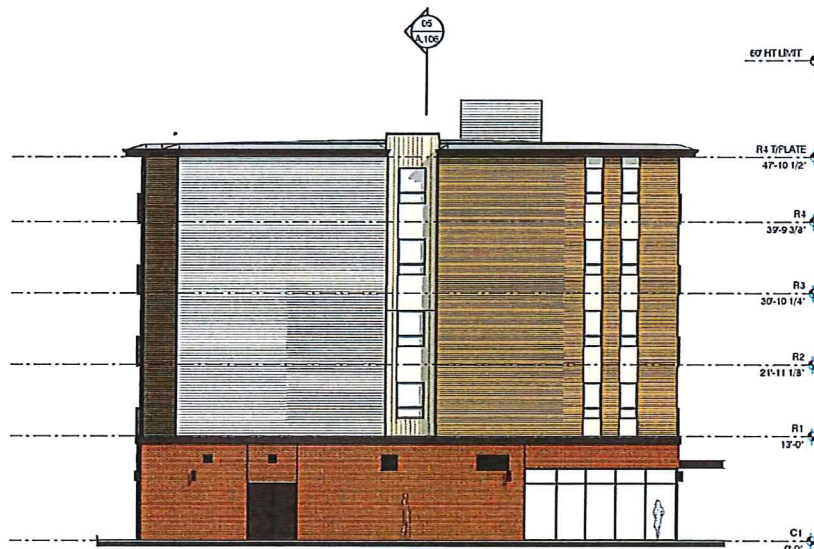
BLDG. D NORTH ELEVATION
SCALE: 3/32" = 1'-0"



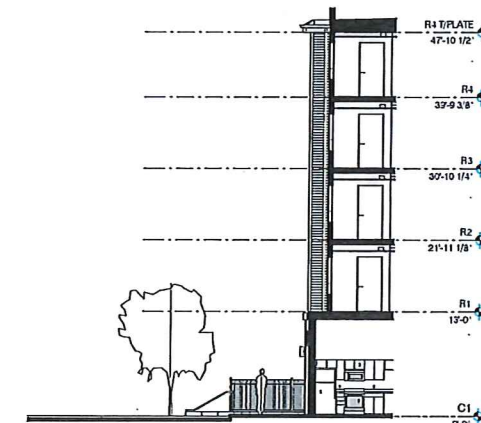
04 WALL SECTION
SCALE: 3/32" = 1'-0"



SITE PLAN
SCALE: 3/32" = 1'-0"



BLDG. D SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



05 WALL SECTION
SCALE: 3/32" = 1'-0"

#	DESCRIPTION	DATE

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DATE: 06.03.2019

THE FARM at MILL CREEK

132nd STREET SE (EGUY) - MILL CREEK, WASHINGTON

BUILDING D SECTIONS

A.106



BUILDING D NORTH EAST CORNER

#	DESCRIPTION	DATE

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THE FARM at MILL CREEK
 132nd STREET SE (EGUV) - MILL CREEK, WASHINGTON

BUILDING D PERSPECTIVES
A.107



BUILDING D SOUTH EAST CORNER

#	DESCRIPTION	DATE

k. sam nystrom
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 w. 511 24th Ave
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PROJ. # 1801
 DRAWN: LAB
 CHECKED: CO
 DATE: 05.03.2019

THE FARM at MILL CREEK

132nd STREET SE (EGUV) - MILL CREEK, WASHINGTON

BUILDING D PERSPECTIVES

A.110



BUILDING D SOUTH WEST CORNER

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			CHECKED:	CO
			DATE:	05.03.2019
			BUILDING D PERSPECTIVES	
#	DESCRIPTION	DATE	THE FARM at MILL CREEK 132nd STREET SE (EGUV) - MILL CREEK, WASHINGTON	
			A.111	